

PAID
1,684
7.27.15



CITY OF PACIFIC GROVE
Community Development Department – Planning Division
300 Forest Avenue, Pacific Grove, CA 93950
T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd
Permit & Request Application

Project Permit(s) & Fees

Permit: <u>AP</u>	Fee: <u>2,282</u>	Multiple Permit Discount: <u>598 for AP</u>	App. #: <u>15-0403</u>
			Date: <u>7-27-15</u>
			Received By: <u>Laurel O'Halloran</u>
			Total Fee: <u>1,684</u>

Project/Property Information

Project Address: 872 Laurel Ave APN: 006-333-007
 Lot: 18+20 Block: 75 Tract: PG Addition
 ZC: R-1 GP: MD 17.4 d/loc Lot Size: 6,491

Project Description: (N) RESIDENCE REMODEL
(N) ROOF / (N) SIDING / ONE (N) BATH
(N) PLUMBING / (N) WINDOWS

Applicant Name: GREG CAREY Phone #: 382.3319
 Mailing Address: 509 CALIFORNIA AVE SAND CITY
 Email Address: GREGORYWILSONCAREY@YAHOO.COM

Owner Name: BRAD BOGGAN Phone #: 271.1193
 Mailing Address: 242 CHESTNUT / PACIFIC GROVE 93950
 Email Address: _____

Permit(s)/Request(s)

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation Permit	<input type="checkbox"/> AVAR: Administrative VAR
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HDP: Historic Demolition Permit	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> ADC: AP Design Change	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> HRP: Historic Relocation Permit	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> C-1 Interp. of Permitted Uses	<input type="checkbox"/> HD: Historic Determination	<input type="checkbox"/> IS & ND/MND: Initial Study
<input type="checkbox"/> ASP: Administrative SP	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit w/ Dev't	<input type="checkbox"/> EIR: Env. Impact Report
<input type="checkbox"/> TTM: Tentative Tract Map	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Permit Undocumented Unit	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> FTM: Final Tract Map	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> GPA: General Plan Amendment	<input type="checkbox"/> Other _____
<input type="checkbox"/> SPR: Site Plan Review	<input type="checkbox"/> COC: Certificate of Compliance	<input type="checkbox"/> ZCA: Zoning Code Amendment	<input type="checkbox"/> Other _____

CEQA Determination

Cat. Exempt, Class: _____
 ND: Negative Declaration
 MND: Mitigated ND
 EIR: Environmental Impact Report

Review Authority

Staff NRC
 ZA HRC
 SPRC PC
 ARB CC

Does the property have?

Active Planning Permit
 Active Building Permit
 Active Code Violation

Is the property within?

ASA: Archaeologically Sensitive Area¹
 CZ: Coastal Zone²
 ASBS: Drainage into ASBS Watershed
 HRI: Historic Resources Inventory^{3,4}
 BP: Butterfly Preserve Buffer

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Gregory Wilson Carey 07.26.2015 Brad Boggan 07/26/2015
 Applicant Signature Date Owner Signature (Required) Date

PROJECT DATA SHEET

Project Address: 872 LaurelSubmittal Date: July 29, 2015Applicant(s): Greg CareyPermit Type(s) & No(s): AP 15-403

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1			
Building Site Area	61491			
Density (multi-family projects only)	---			
Building Coverage	40%	1,689	1,705-26%	2,646 allowed
Site Coverage	60%	1,856	1,872-28%	3,969 allowed
Gross Floor Area	3,045	2,866	2,882	
Square Footage not counted towards Gross Floor Area		---		
Impervious Surface Area Created and/or Replaced		---		
Exterior Lateral Wall Length to be demolished in feet & % of total*	---	---	---	
Exterior Lateral Wall Length to be built	---	---	---	
Building Height	25'	25'10"	26'	
Number of stories	2	2	2	
Front Setback	15'	13'	13'	
<u>North</u> Side Setback (specify side)	10'	16'	16'	
<u>South</u> Side Setback (specify side)	10'	21'	21'	
Rear Setback	10'	5'	5'	
Garage Door Setback	20'	13'	13'	
Covered Parking Spaces	1	1	1	
Uncovered Parking Spaces	1	1	1	
Parking Space Size (Interior measurement)	9' x 20'	11 X 20	11 X 20	
Number of Driveways	1			
Driveway Width(s)	---	12'	12'	
Back-up Distance	---			
Eave Projection (Into Setback)	3' maximum			
Distances Between Eaves & Property Lines	3' minimum			
Open Porch/Deck Projections				
Architectural Feature Projections	---	---	---	
Number & Category of Accessory Buildings	1	1	1	
Accessory Building Setbacks	---	---	---	
Distance between Buildings	---	---	---	
Accessory Building Heights	---	---	---	
Fence Heights				

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.



City of Pacific Grove

Architectural Review Board Staff Report

August 11, 2015

To: Chair Steres and Architectural Review Board Members

Submitted By: Laurel O'Halloran, Assistant Planner

Subject: Consideration of Architecture Permit (AP) No. 15-403. To allow a building height increase of 4' to the second story of to a two story 2,866 sf single family historic residence. To allow the addition of a 16 sf water heater enclosure for a total of a 2,882 sf two story residence. To allow the removal of the existing non-historic aluminum siding and the replacement of hardie shingle siding to match the original historic wood shingle siding. To also allow the removal of the existing historic windows and the replacement with wood windows to match the original historic windows.

Recommendation:

Review the application and consider a recommendation of approval.

Background and Project Description:

Application: AP 15-403

Location: 872 Laurel Avenue

APN: 006-333-007

Applicant: Greg Carey/Brad Boggan

The project site is located at 872 Laurel Avenue in the R-1 zoning district. The subject site is developed with a two story 2,866 sf single-family historic residence.

A Phase II Historic Assessment was completed by Elizabeth Moore July 31, 2015 and determined the proposed project will be executed consistent with the Secretary's Standards for Rehabilitation.

The proposed development will meet the development regulations set forth in the R-1 zoning district including setbacks and height requirements

Staff Analysis

R-1 Zoning Regulations: The allowable maximum building coverage is 40% and the proposed project site is under the 40% building coverage. The allowable maximum site coverage is 60% and the proposed project site is under the 60% site coverage. The allowable maximum gross floor area is 3,045 sf and the proposed project site has a gross floor area of 2,882 sf.

The phase II historic assessment summarizes that the proposed plan for rehabilitation of the historic structure, including replacement of the roof structure in compliance with current building codes standards,

replacement of the window sash and the addition of the water heater closet are consistent with The Secretary of the Interior's Standards for the treatment of historic properties.

Architectural Design Guidelines for Historic Buildings:

Guideline #3: Preservation of character-defining features:

Staff feels the proposed project is preserving the historic integrity by removing the aluminum siding that was installed in 1970 and replacing with Hardy Board composite shingle siding to match the existing historic wood shingle siding in dimension and texture.

Guideline # 5: Replacement: When important character defining features, such as windows, need to be replaced, the replacement should be of similar design and material.

Staff feels the proposed project will meet this requirement with the replacement of wood window sash in existing openings with new, to match the existing design and material

Alternatives:

The Board may approve the Architecture Permit (AP) application.

The Board may approve the AP with recommendations on materials.

The Board may deny the application

Environmental Review:

The project qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

Attachments:

1. Draft AP
2. Application materials
3. Project Plans



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NOTICE OF EXEMPTION FROM CEQA

7b

Property Address/Location: 872 Laurel Avenue, Pacific Grove, CA 93950

Project Description: AP 15-403

Description: To allow a building height increase of 4' to the second story addition to a two story 2,866 sf single family historic residence. To allow the addition of a 16 sf water heater enclosure for a total of a 2,882 sf two story residence. To allow the removal of the existing non-historic aluminum siding and the replacement of hardie shingle siding to match the original historic wood shingle siding. To also allow the removal of the existing historic windows and the replacement with wood windows to match the original historic windows

APN: 006-555-001

ZC: R-1 GP: Med Den 17.4 du/ac

Lot Size: 6.493 sf

Applicant Name: Greg Carey Phone #: 383-3319

Mailing Address: 509 California Avenue, Sand City, CA 93950

Email Address: gregorywilsoncarey@yahoo.com

Public Agency Approving Project: City of Pacific Grove, Monterey County, California

Exempt Status (Check One) :

- Ministerial (Sec. 21080(b)(1):15268))
- Declared Emergency (Sec. 21080(b)(3): 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c))
- Categorical Exemption

Type and Section Number: Section 15301(e) (1) Class 1 Categorical Exemption

Exemption Findings:

The project includes the addition of 16 sf, and therefore qualifies for a Class 1 exemption from CEQA requirements, pursuant to Section 15301 (Class 1) – Existing Facilities. The proposed alterations do not present any unusual circumstances that would result in a potentially significant environmental impact.

Contact Laurel O'Halloran, Assistant Planner Contact Phone: (831) 648-3127

Signature: *Laurel O'Halloran* **Date:** August 3, 2015

PHASE II HISTORIC ASSESSMENT

NAME AND ADDRESS OF THE PROPERTY

BOGGAN RESIDENCE - BUILT IN 1910
872 Laurel Avenue
Pacific Grove, CA 93950

APPLICANT

Brad and Carlyn Boggan
242 Chestnut Street
Pacific Grove, CA 93950

OWNER

Brad and Carlyn Boggan
242 Chestnut Street
Pacific Grove CA 93950

July 31, 2015

PHASE II HISTORIC ASSESSMENT
BOGGAN RESIDENCE - BUILT IN 1910
872 Laurel Avenue, Pacific Grove CA 93950

INTRODUCTION

The following Phase I and II Historic Assessments for the residential property located at 162 Pacific Avenue, (APN 006-332-002-000), in Pacific Grove, have been prepared as required by the City of Pacific Grove and the California Environmental Quality Act (CEQA).



1918 SOUTH ELEVATION – 872 LAUREL AVE

PHASE II HISTORIC ASSESSMENT

The following is an analysis of the proposed alterations to the historically significant structures at 872 Laurel Avenue in Pacific Grove CA, for the purpose of evaluating of their compliance with the Secretary of the Interiors Standards for the Treatment of Historic Properties, 1995: Rehabilitation.

The subject property will continue to be used as a single family dwelling. The garage will remain unchanged.

Proposed repair and rehabilitation of the building include:

- Replacement of the water and termite damaged roof structure with a new code compliant roof structure, as visually similar to the original as possible. The roof update resulting in a four inch increase in building height, supportable by the California Historic Building Code.
Note: Due to the roof leaking and sagging, the property owners obtained re-roof permit and exploratory permit from Pacific Grove building department. A structural engineer inspected the roof and determined it to be unsafe and not structurally sound.
- Replacement of the damaged portion of the large chimney, which has failed due to the effects of poor mortar, age, weather and seismic activity. The upper portion of the chimney will be replaced with modern, safe, code compliant construction to preserve the historic appearance, scale and form similar to the original. Plaster, patterned and textured to match the original brick, over wood sheathing and wood framing, will encase triple wall metal chimney pipe. The small secondary chimney for venting the original wood stove but unused for years, located near the southwest corner of the building, will be removed.
- Removal of the aluminum siding installed in the 1970's, and replacement of the original wood shingle siding with a Hardy Board composite shingle siding, closely resembling the original, is proposed.
Note: Care should be taken to assure that the siding dimensions, exposure and texture closely resemble that of the historic shingle siding. A physical sample should be procured and compared to the existing wood shingle siding.
- Replacement of the existing single pane window sash is proposed in the existing openings. While much of the sash is in reasonable condition, the owners are concerned about the ability of the single-pane windows to retain heat. Care should be taken to be sure the dimensions and details of the proposed wood frame double glazed window sash matches the existing as precisely as possible.
Note: The California energy codes and Historic Building Code are at odds. While the historic code encourages the preservation of all historic and character defining materials, the energy code pushes for conservation of energy. The owners of this property are opting for replacement of single pane historic sash with a visually similar insulating window for more efficiency and comfort.

- Addition of small water heater closet is proposed on the exterior of the building near the northeast corner, with materials and details to match the existing. This is the only addition to the footprint.
- Proposed Interior structural, electrical and plumbing upgrades include the removal/relocation of approximately 100 linear feet of wall. Much of the interior lath and plaster wall finish has been removed.
Note: While a city of Pacific Grove building official indicated to the owners that the historic code requirements only apply to the exterior of the building, this is not in keeping with the spirit of historic preservation. Lath and plaster in a historic building adds to the beauty, authenticity and structural integrity of a historic structure and should remain where possible.

The project appears to be sensitive to the existing historic material, the character of the house and neighborhood, and in keeping with the Secretary of the Interior's Standards for Treatment of Historic Properties.

Evaluation per The Secretary of the Interior's Standards for the Treatment of Historic Properties, 1995:

REHABILITATION

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

Yes. The property will continue to be used as a single-family residence. The garage will remain unchanged.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

Yes. The historic character of the building will be retained and preserved. Replacement of degraded roof, siding and sash with those to match the original in appearance, will aid in preserving the building into the future. Replacement of the decayed roof structure with modern code compliant structure adds four inches to the height of the building.

The original large chimney has failed due to weather and seismic activity. The damaged upper portion of the chimney will be replaced with modern, safe, code compliant construction to preserve the historic appearance. The scale and form will be similar to the original. Plaster, patterned and textured to match the original brick, over wood sheathing and wood framing, will encase triple wall metal chimney pipe.

The small secondary chimney for venting the original wood stove but unused for years, located near the southwest corner of the building, will be removed for safety.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

Yes. Repairs to the building will not alter the appearance, which will remain consistent with the historic context.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

Not applicable to this project. There are no historically significant early alterations to this property.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

Yes. The proposed plan indicates that distinctive elements characterizing the property will be preserved.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

Yes, The plan includes no sandblasting or chemical treatment.

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Not applicable to this project.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

Yes. Exterior alterations include: Replacement of failing roof with structure built to current life safety codes; Removal of degraded exterior aluminum siding and replacement of decayed wood shingle siding with fiberboard shingle to match the existing historic wood shingle in dimension and texture; Replacement of wood window sash in existing openings with new, to match existing in appearance; Addition of exterior water heater closet.

The Historic materials, features and special relationships characteristic of the property will be preserved where possible, decayed siding and sash will be replaced.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Yes. The only proposed exterior addition is a water heater closet.

SUMMARY

The proposed plan for rehabilitation of the historic property at 872 Laurel Avenue in Pacific Grove, including replacement of the roof structure in compliance with current building code standards, replacement of window sash with energy efficient wood sash to match the existing, interior remodel including removal/relocation of approximately 100 linear feet of interior wall, addition of interior structural support and addition of an exterior water heater closet on the north elevation, are consistent with the existing historic building when evaluated per The Secretary of the Interior's Standards for the Treatment of Historic Properties, 1995, Rehabilitation section, is consistent with applicable criteria # 1, 2, 3, 5, 6, 7, 9, & 10 (#s 4 and 8 are not applicable to this project).

Respectfully Submitted

Elizabeth Moore



Location Map



Vicinity Map



South Elevation 1918



South Elevation with Aluminum Siding Installed in 1970s



South Elevation - Current




West Elevation – Current



North Elevation - Current

PROPOSED PROJECT ARCHITECTURAL PLANS

(N) RESIDENCE REMODEL
for
MR. and MRS. BOGGAN
872 LAUREL AVENUE, PACIFIC GROVE, CA
APN = 006 - 333 - 007



G.W.C.
GENERAL CONTRACTORS
1000 S. GARDEN AVENUE
SANTA ANA, CA 92705
949-350-3378

FLOOR PLANS

A1

SCOPE OF WORK

- (N) INTERIOR REMODEL / UPGRADE WHERE REQUIRED.
- (N) HOT WATER HEATER ENCLOSURE NORTH SIDE.
- (N) EXTERIOR SODDING AND FINISH.
- ALL (N) WINDOWS TO MATCH (E) HISTORIC WINDOWS.
- RESTORE AND MAINTAIN HISTORIC CHARACTERISTICS.

PROJECT COVERAGE

EXISTING SQUARE FOOTAGE 86.0 50 FT

(E) FRONT PORCH W/ STEPS 44.0 50 FT

(E) REAR PORCH W/ STEPS 1425.0 50 FT

(E) FIRST FLOOR 1177.0 50 FT

(E) SECOND FLOOR 2734.0 50 FT

(E) TOTAL 4916.0 50 FT

PROJECT DATA

ZONING: RESIDENTIAL

FIRE SPRINKLERS: NO

CONSTRUCTION: TYPE - VB

UTILITIES: PG & E
ELECTRIC: PG & E
SEWER: CAL-AM
WATER: CAL-AM

(E) KEY NOTES

01 (E) UNDER FLOOR RADIANT FURNACE TO BE REMOVED

02 (E) BUILT-IN HUTCH TO BE REMAIN

03 (E) FRONT PORCH WOOD STEPS/RAILINGS/LANDING TO BE REMAIN

04 (E) FRONT PORCH WOOD STEPS/RAILINGS/LANDING TO BE REMAIN

05 (E) FRONT PORCH WOOD STEPS/RAILINGS/LANDING TO BE REMAIN

06 (E) FRONT PORCH WOOD STEPS/RAILINGS/LANDING TO BE REMAIN

07 (E) STACKABLE WASHER/DRYER TO BE REMOVED AND RELOCATED

08 (E) CONCRETE SLAB TO BE REMAIN

09 (E) LAUNDRY TUBS TO BE REMOVED

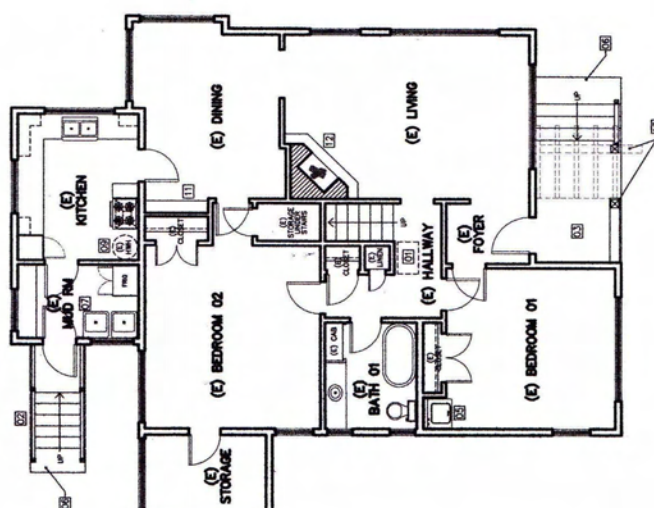
10 (E) WOOD RAILING TO BE REMOVED

11 (E) NOT WITH WATER AND RELOCATED

12 (E) VENT CHASE TO BE REMOVED

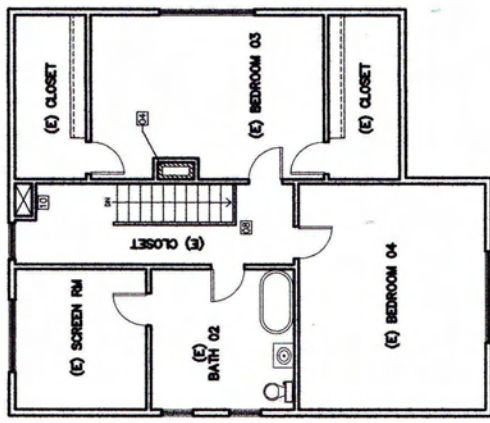
(E) FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"



(E) SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



(N) RESIDENCE REMODEL
for
MR. and MRS. BOGGAN
872 LAUREL AVENUE, PACIFI GROVE, CA
APN = 006 - 333 - 007

PROJECT / DATE

G.W.C.
GENERAL CONTRACTORS
500 LAUREL AVENUE
PACIFI GROVE, CA
93950
831-361-3319

(E) ELEVATIONS

A3

(E) NORTH ELEVATION
SCALE: 1/4"=1'-0"

(E) NOTES:

- (E) ROOF FROM EXISTING REMODEL (TYP)
- (E) EXTERIOR SIDING OF HORIZONTAL LAP (TYP)
- (E) BRICK CHIMNEY TO MATCH ORIGINAL
- (E) BRICK WOOD SHAKES

(E) WEST ELEVATION
SCALE: 1/4"=1'-0"

(E) EAST ELEVATION
SCALE: 1/4"=1'-0"

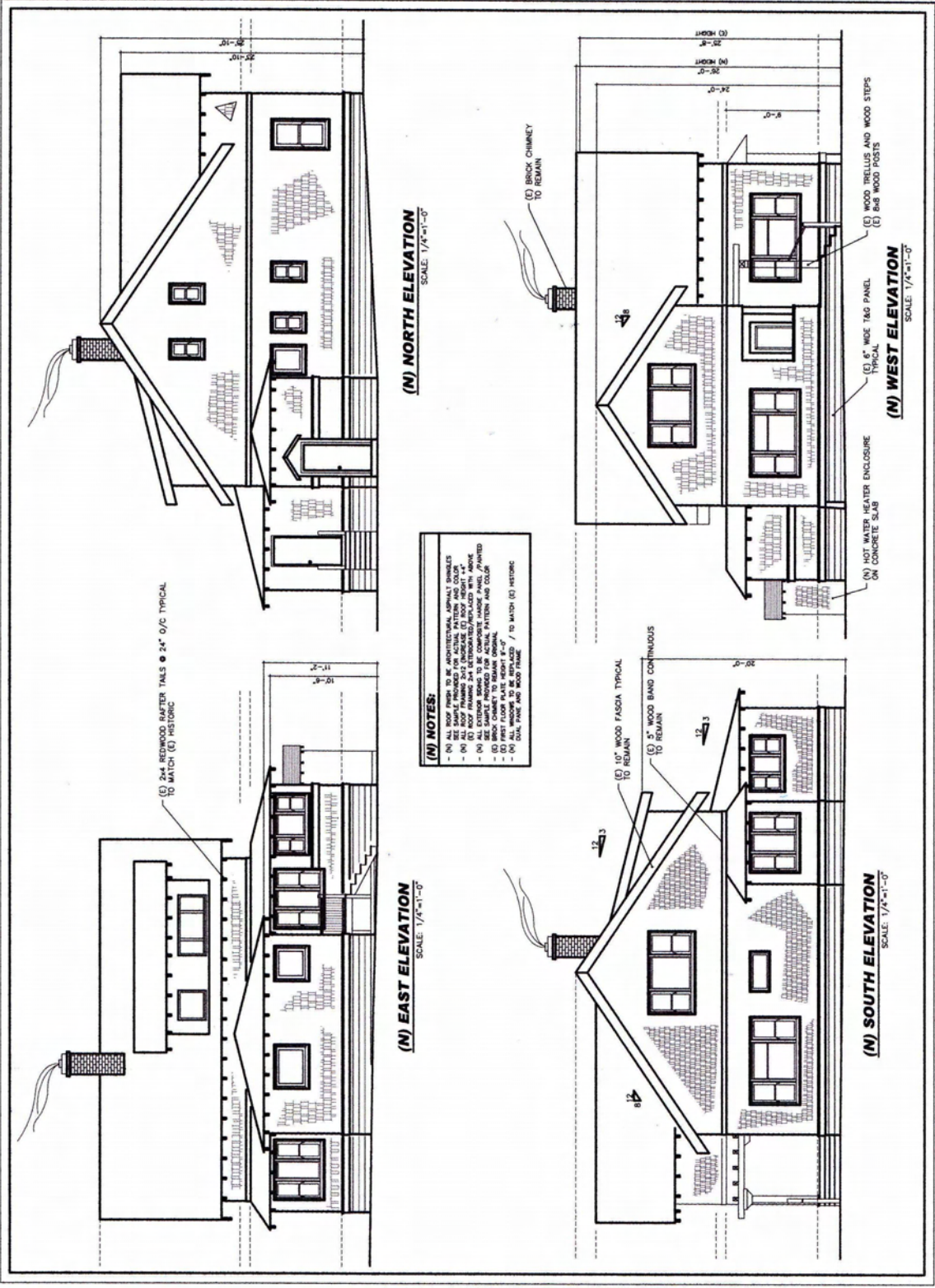
(E) SOUTH ELEVATION
SCALE: 1/4"=1'-0"

(N) RESIDENCE REMODEL
for
MR. and MRS. BOGGAN
 872 LAUREL AVENUE, PACIFIC GROVE, CA
 APN = 006 - 333 - 007

G.W.C.
 GEORGE W. CAKEY
 ARCHITECT
 501 BAYVIEW AVENUE
 SUITE 200
 PACIFIC GROVE, CA 93950
 813-363-3319

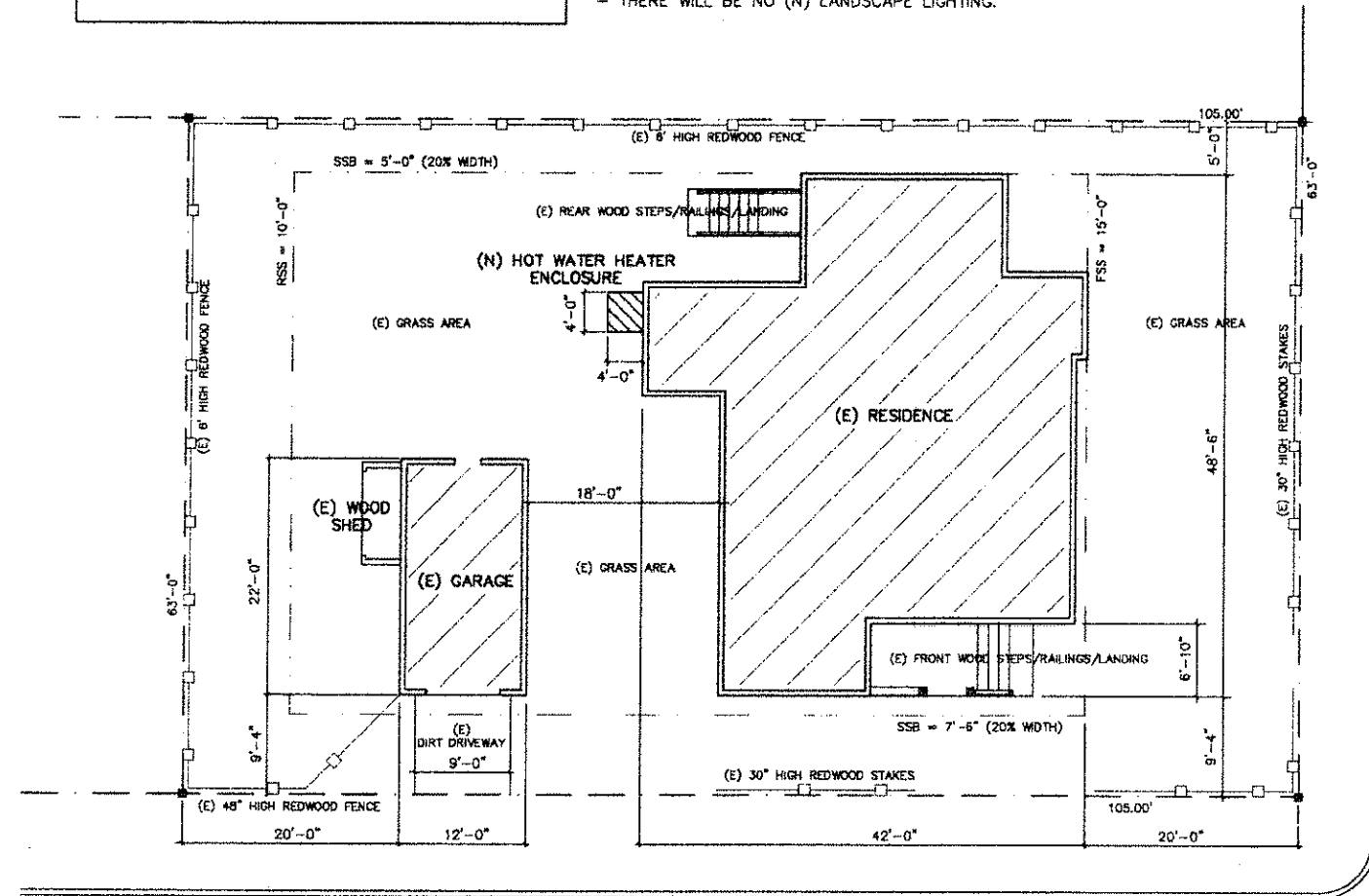
(N) ELEVATIONS

A4



LEGEND	
---	(E) PROPERTY LINE
- - -	(E) SETBACK LINE
—○—	(E) REDWOOD FENCES

NOTE:
 - ENTIRE SITE TO REMAIN AS (E) EXCEPT FOR (N) WATER HEATER ENCLOSURE
 - ALL PLANTS/TREES/FLOWERS/LANDSCAPING TO REMAIN UNDISTURBED.
 - THERE WILL BE NO (N) LANDSCAPE LIGHTING.



LAUREL AVENUE

CHESTNUT STREET

(E) SITE PLAN
 SCALE: 1/8"=1'-0"



PROJECT INFO	
PROJECT LOCATION: 872 LAUREL AVENUE PACIFIC GROVE, CA	
OWNERS: MR. and MRS. BOGGAN 872 LAUREL AVENUE PACIFIC GROVE, CA 831 277 1193 CEL	
DRAFTSMAN / DESIGNER: GREG CAREY 501 CALIFORNIA AVENUE SAND CITY, CA 93955 831 383 3319 CEL	
CIVIL ENGINEER: MICHAEL JAMES MARTIN 400 FOAM, SUITE 200B MONTEREY, CA 93940 831 601 9818 CEL	
GENERAL CONTRACTOR: S & D DIMAGGIO CONSTRUCTION ATTN: SAL DIMAGGIO 831 236 6472 LIC.# 626980	

SCOPE OF WORK	
- (N) INTERIOR REMODEL /UPGRADE WHERE REQUIRED.	
- (N) HOT WATER HEATER ENCLOSURE NORTH SIDE.	
- (N) EXTERIOR SIDING.	
- (N) ROOF FARMING AND FINISH.	
- ALL (N) WINDOWS TO MATCH (E) HISTORIC WINDOWS.	
- (N) RESTORE AND MAINTAIN HISTORIC CHARACTERISTICS.	
- (N) PLUMBING AND ELECTRICAL.	
NOTE: IT IS THE OWNERS PRIORITY TO MAINTAIN AND NOT DISTURB THE NATURAL HISTORIC BEAUTY OF THEIR HOME, BOTH INSIDE AND OUTSIDE.	

PROJECT DATA	
ZONING:	R1
FIRE SPRINKLERS:	NO
CONSTRUCTION:	TYPE - VB
UTILITIES	
GAS:	PG & E
ELECTRIC:	PG & E
SEWER:	CAL-AM
WATER:	CAL-AM

PROJECT COVERAGE	
(E) SITE	6615.0 SQ FT
(E) DIRT DRIVEWAY (PERVIOUS)	84.0 SQ FT
COVERAGE	
BUILDING COVERAGE (40% ALLOWED)	
(E) GARAGE / DETACHED	264.0 SQ FT
(E) FIRST FLOOR	1425.0 SQ FT
(N) HOT WTR HTR ENCLOSURE	16.0 SQ FT
(N) TOTAL=	1705.0 SQ FT (26%)
SITE COVERAGE (60% ALLOWED)	
(N) BUILDING COVERAGE TOTAL	1705.0 SQ FT
(E) FRONT PORCH W/ STEPS	88.0 SQ FT
(E) REAR PORCH W/ STEPS	44.0 SQ FT
(E) WOOD SHED W/ SHED ROOF	35.0 SQ FT
(N) TOTAL=	1872.0 SQ FT (28%)
GROSS FLOOR AREA (3097.0 SQ FT ALLOWED)	
(E) GARAGE / DETACHED	264.0 SQ FT
(E) FIRST FLOOR	1425.0 SQ FT
(E) SECOND FLOOR	1177.0 SQ FT
(N) HOT WTR HTR ENCLOSURE	16.0 SQ FT
(N) TOTAL=	2882.0 SQ FT

REVISIONS	

G·W·C
BUILDING DESIGNS

GREGORY W. CAREY
PRINCIPAL

501 CALIFORNIA AVENUE
SAND CITY, CA 93955

831-383-3319

DRAWING TITLE	
(E) FLOOR PLANS	
DATE: 04-2015	SCALE: AS SHOWN
DRAWN BY:	FILE NUMBER:

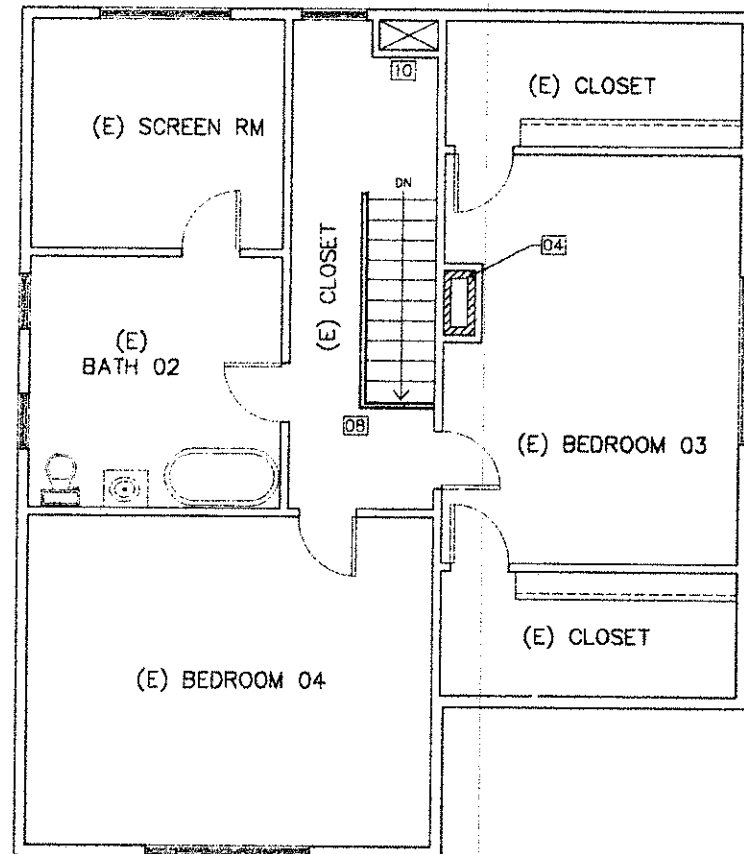
A0

(N) RESIDENCE REMODEL
for
MR. and MRS. BOGGAN
872 LAUREL AVENUE, PACIFI GROVE, CA
APN = 006 - 333 - 007

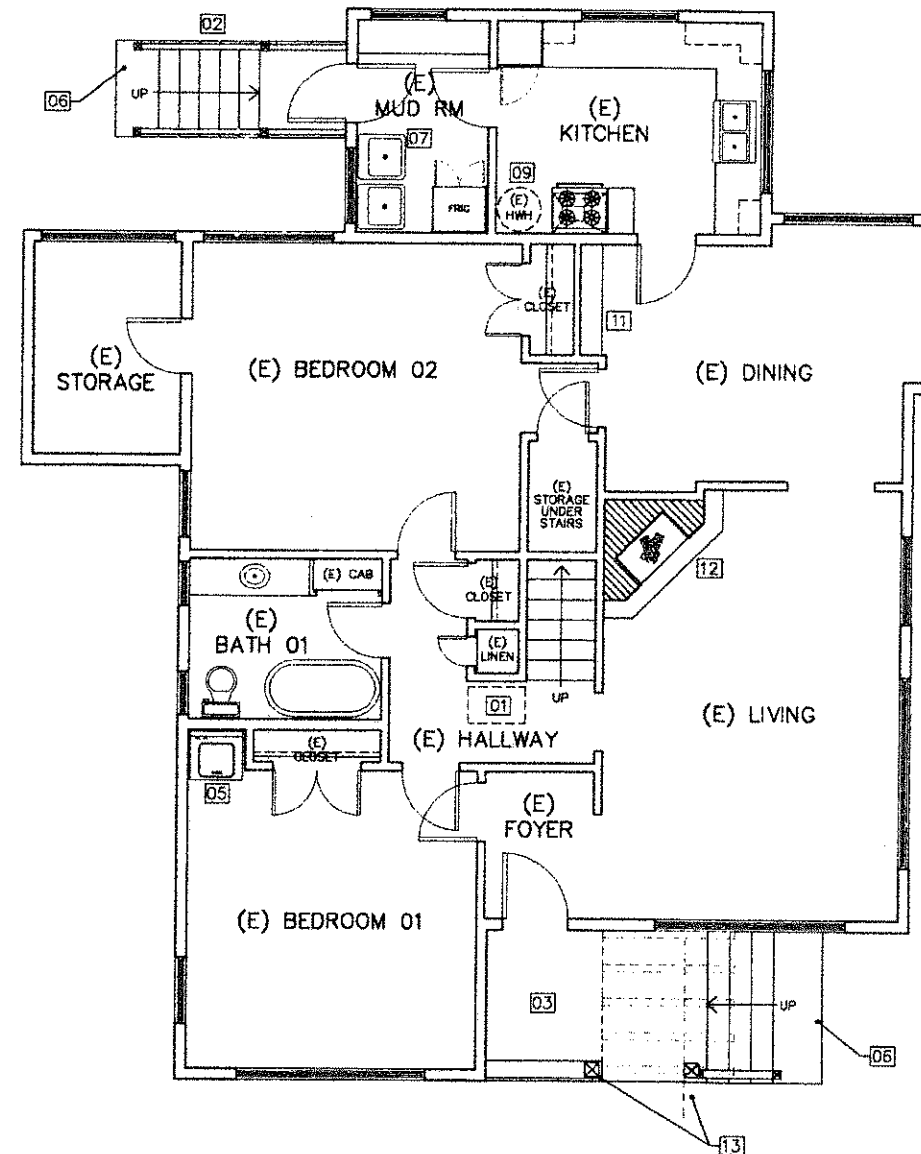
(N) RESIDENCE REMODEL
 for
MR. and MRS. BOGGAN
 872 LAUREL AVENUE, PACIFI GROVE, CA
 APN = 006 - 333 - 007

(E) KEY NOTES

- | | |
|---|---|
| 01 (E) UNDER FLOOR RADIANT FURNACE TO BE REMOVED | 11 (E) BUILT-IN HUTCH TO BE REMAIN |
| 02 (E) REAR WOOD STEPS/RAILINGS/LANDING TO BE REMAIN | 12 (E) FIREPLACE TO BE REMAIN |
| 03 (E) FRONT WOOD STEPS/RAILINGS/LANDING TO BE REMAIN | 13 (E) FRONT TRELLUS AND POSTS TO BE REMAIN |
| 04 (E) CHIMNEY TO BE REMAIN | |
| 05 (E) STACKABLE WASHER/DRYER TO BE REMOVED AND RELOCATED | |
| 06 (E) CONCRETE SLAB TO BE REMAIN | |
| 07 (E) LAUNDRY TUBS TO BE REMOVED | |
| 08 (E) WOOD RAILING TO BE REMOVED | |
| 09 (E) HOT WATER HEATER TO BE REMOVED AND RELOCATED | |
| 10 (E) VENT CHASE TO BE REMOVED | |



(E) SECOND FLOOR PLAN
 SCALE: 1/4"=1'-0"



(E) FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"

REVISIONS

G·W·C
 BUILDING DESIGNS
 GREGORY W. CAREY
 PRINCIPAL
Gregory W. Carey
 501 CALIFORNIA AVENUE
 SAND CITY, CA
 93955
 831-383-3319

DRAWING TITLE

(E) FLOOR PLANS




DATE	SCALE
04-2015	AS SHOWN
DRAWN BY	FILE NUMBER

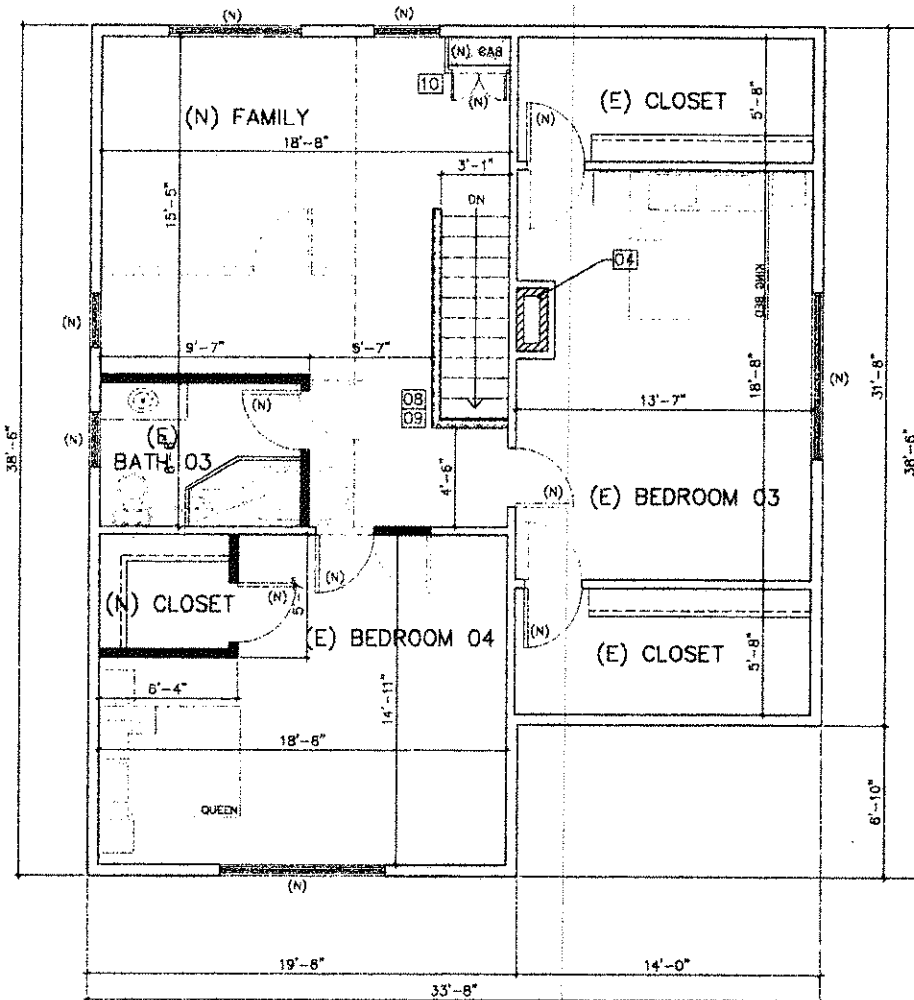
A1

(E) KEY NOTES

- | | |
|--|--|
| <ul style="list-style-type: none"> 01 (E) UNDER FLOOR RADIANT FURNACE TO BE REMOVED 02 (E) REAR WOOD STEPS/RAILINGS/LANDING TO BE REMAIN 03 (E) FRONT WOOD STEPS/RAILINGS/LANDING TO BE REMAIN 04 (E) CHIMNEY TO BE REMAIN 05 (E) STACKABLE WASHER/DRYER TO BE REMOVED AND RELOCATED 06 (E) CONCRETE SLAB TO BE REMAIN 07 (E) LAUNDRY TUBS TO BE REMOVED 08 (E) WOOD RAILING TO BE REMOVED 09 (N) HALF WALL TO REPLACE RAILING 10 (E) VENT CHASE TO BE REMOVED | <ul style="list-style-type: none"> 11 (E) BUILT-IN HUTCH TO BE REMAIN 12 (E) FIREPLACE TO BE REMAIN 13 (E) FRONT TRELLUS AND POSTS TO BE REMAIN 14 (E) HOT WATER HEATER ENCLOSURE TO MATCH (E) HISTORIC FEATURES |
|--|--|

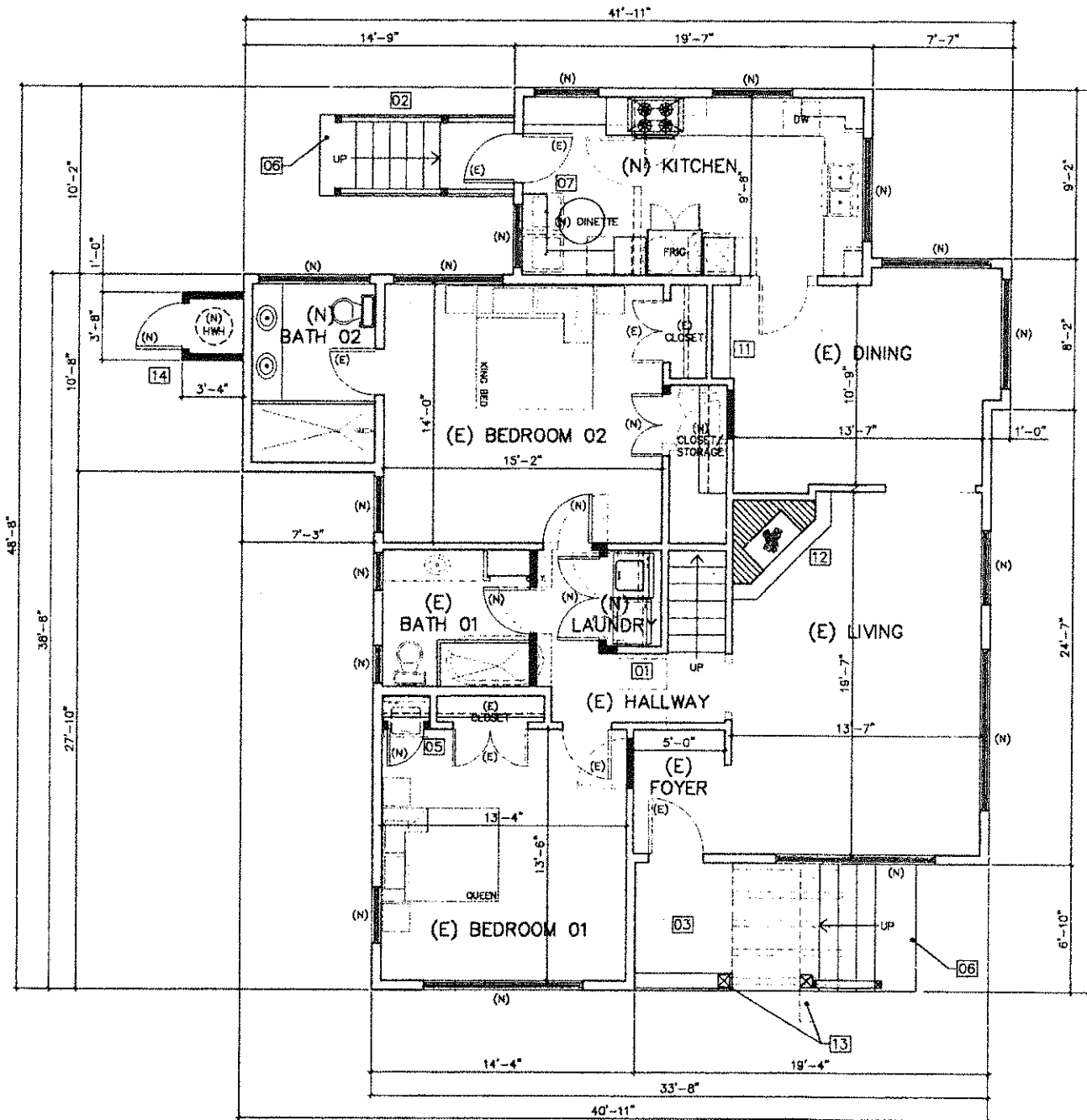
WALL LEGEND

-  (E) WALLS TO BE REMOVED
-  (E) WALLS TO REMAIN
-  (N) WALLS



(N) SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"



(N) FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

(N) RESIDENCE REMODEL

for
MR. and MRS. BOGGAN
872 LAUREL AVENUE, PACIFI GROVE, CA
APN = 006 - 333 - 007

REVISIONS

NO.	DATE	DESCRIPTION

G.W.C.
BUILDING DESIGNS

GREGORY W. CAREY
PRINCIPAL

Gregory W. Carey

501 CALIFORNIA AVENUE
SAND CITY, CA
93955

831-383-3319

DRAWING TITLE

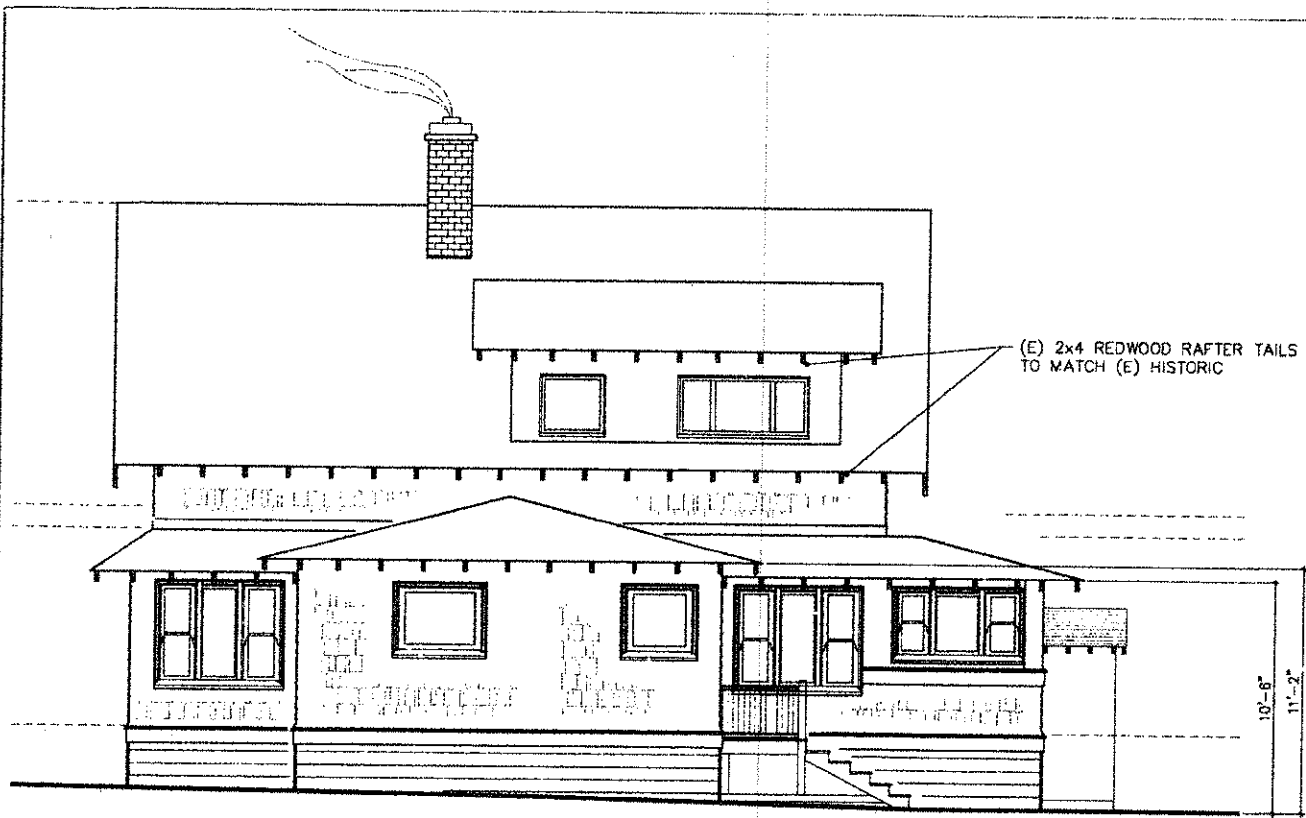
(N) FLOOR PLANS

DATE	SCALE
04-2015	AS SHOWN
DRAWN BY	FILE NUMBER

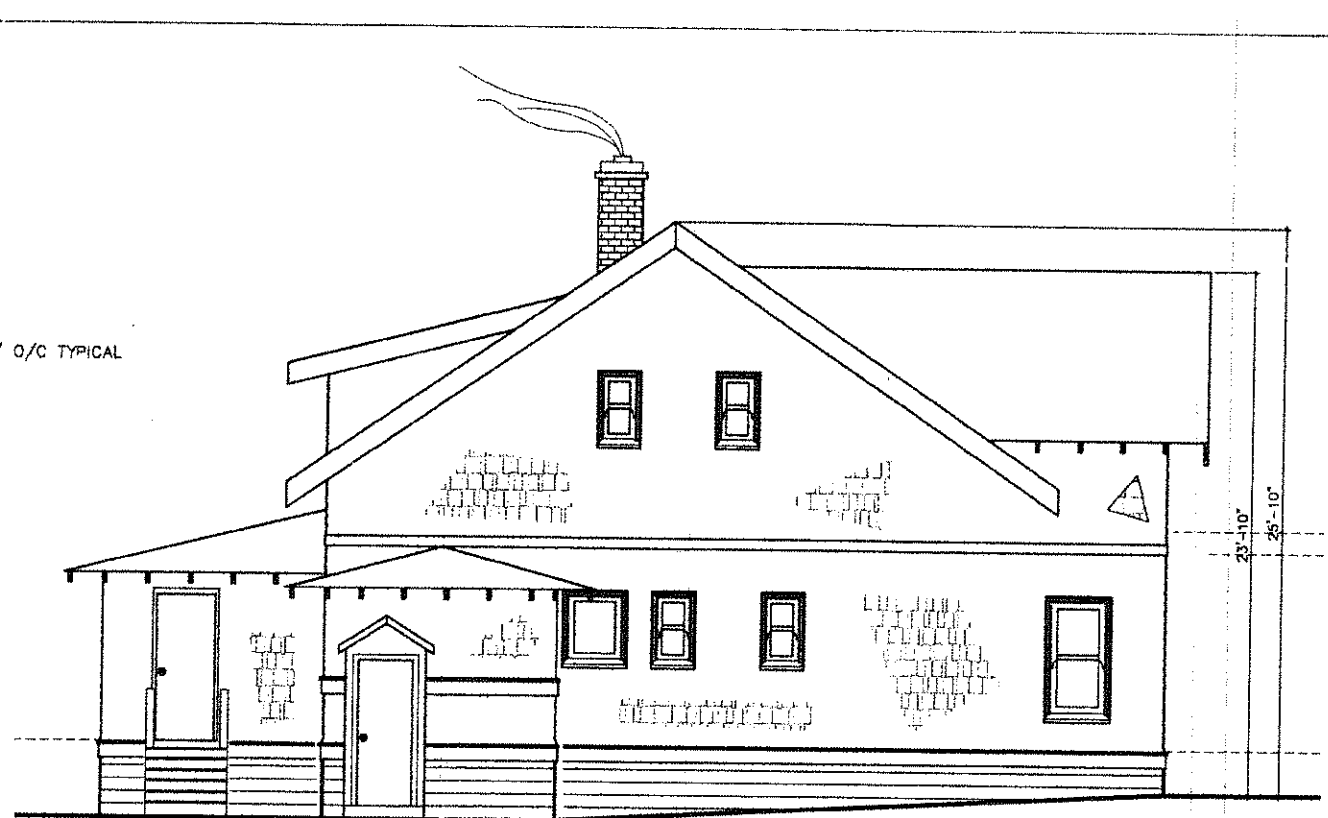
A2

(N) RESIDENCE REMODEL

for
MR. and MRS. BOGGAN
872 LAUREL AVENUE, PACIFI GROVE, CA
APN = 006 - 333 - 007

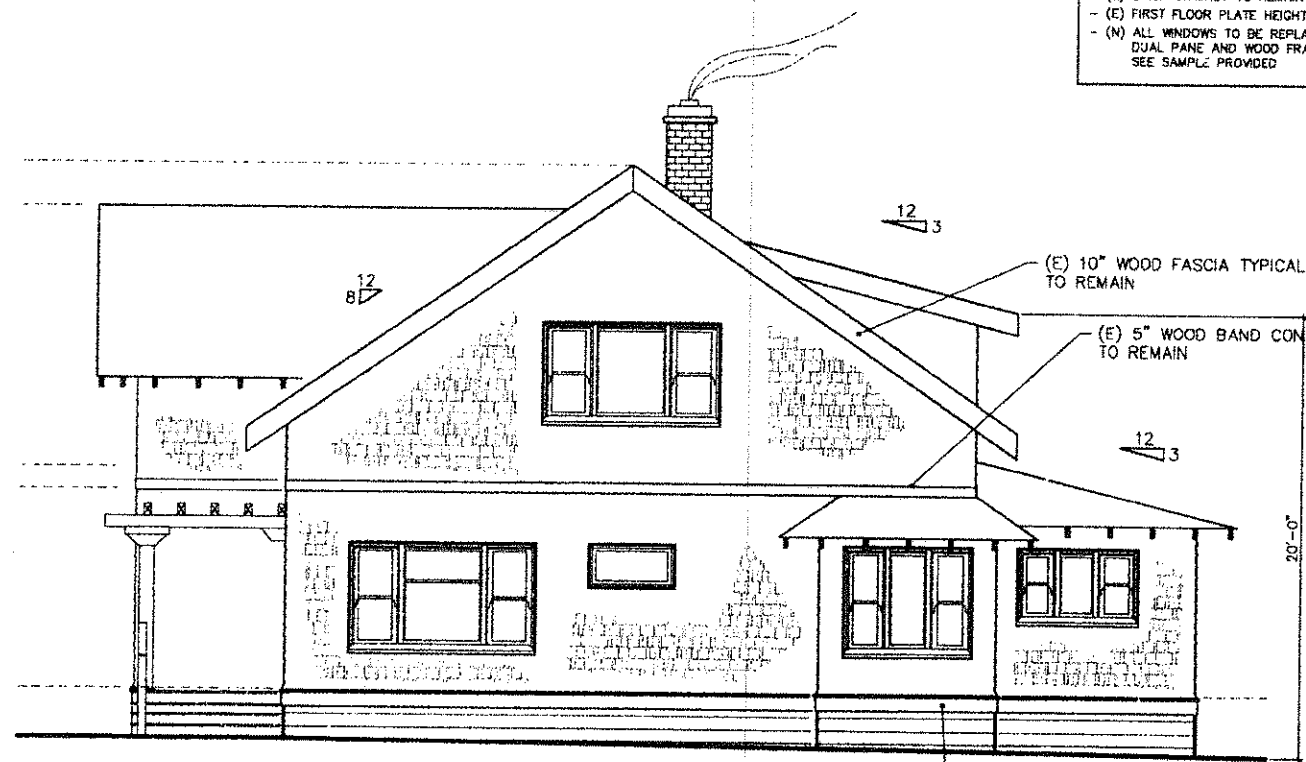


(N) EAST ELEVATION
SCALE: 1/4"=1'-0"

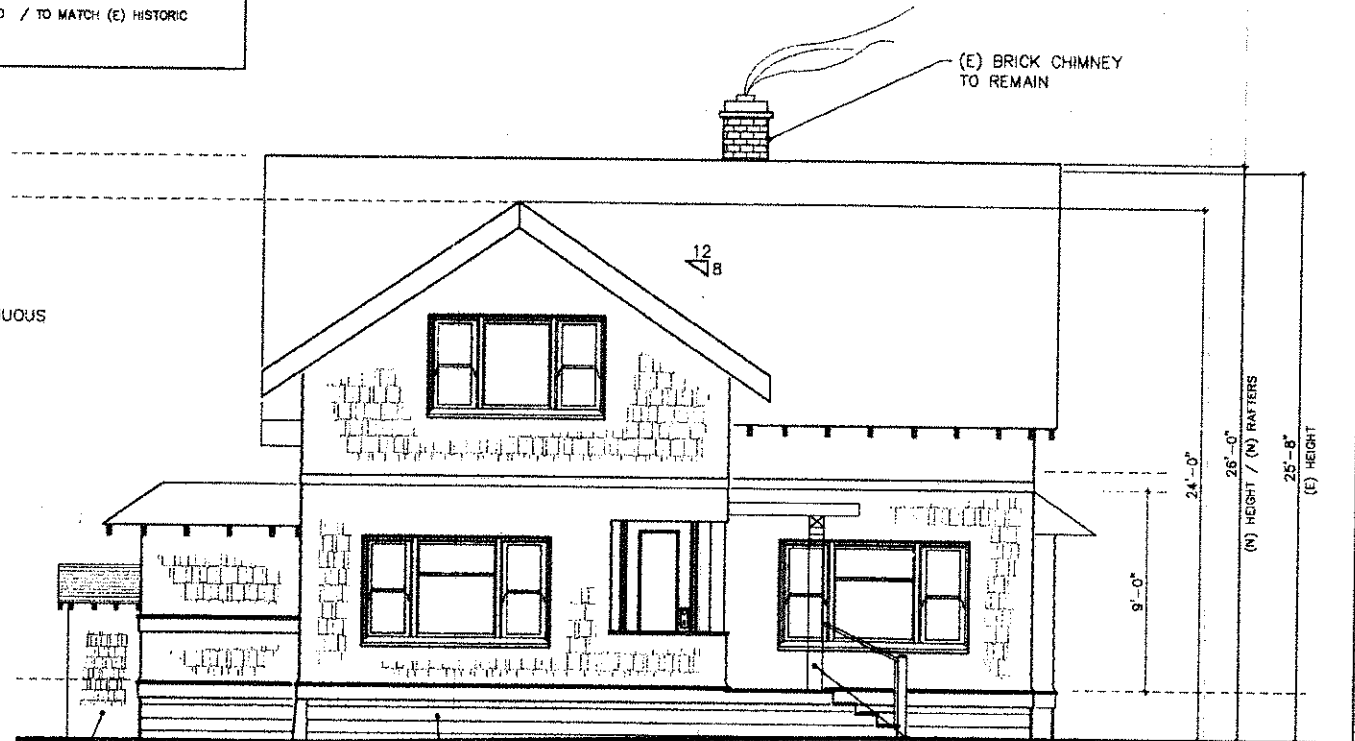


(N) NORTH ELEVATION
SCALE: 1/4"=1'-0"

- (N) NOTES:**
- (N) ALL ROOF FINISH TO BE ARCHITECTURAL ASPHALT SHINGLES SEE SAMPLE PROVIDED FOR ACTUAL PATTERN AND COLOR
 - (N) ALL ROOF FRAMING 2x12 (INCREASE (E) ROOF HEIGHT +4")
 - (E) ROOF FRAMING 2x4 DETERIORATED/REPLACED WITH ABOVE
 - (N) ALL EXTERIOR SIDING TO BE COMPOSITE HARDIE PANEL /PAINTED SEE SAMPLE PROVIDED FOR ACTUAL PATTERN AND COLOR
 - (E) BRICK CHIMNEY TO REMAIN ORIGINAL
 - (E) FIRST FLOOR PLATE HEIGHT 9'-0"
 - (N) ALL WINDOWS TO BE REPLACED / TO MATCH (E) HISTORIC DUAL PANE AND WOOD FRAME SEE SAMPLE PROVIDED



(N) SOUTH ELEVATION
SCALE: 1/4"=1'-0"



(N) WEST ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS

NO.	DESCRIPTION

G.W.C
BUILDING DESIGNS

GREGORY W. CAREY
PRINCIPAL

Gregory W. Carey

501 CALIFORNIA AVENUE
SAND CITY, CA
93955

831-383-3318

DRAWING TITLE

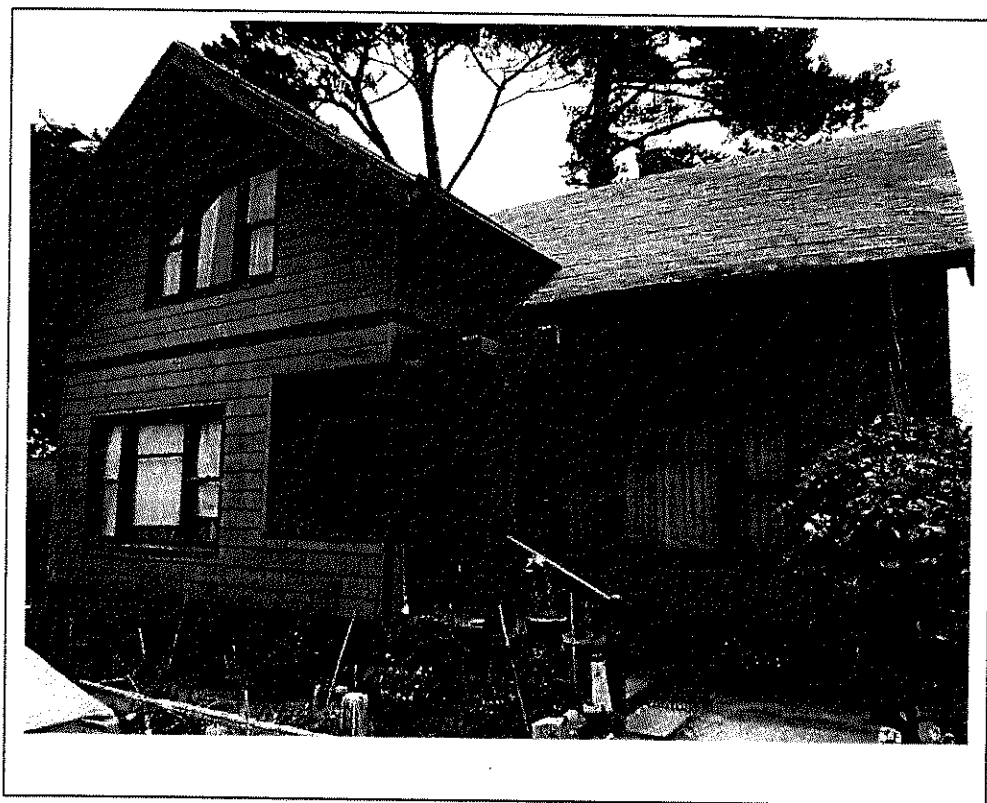
(N) ELEVATIONS

DATE 04-2015	SCALE AS SHOWN
DRAWN BY	FILE NUMBER

A4

HOME INSPECTION REPORT

Clients: Carlyn & Brad Boggan
Property Address: 872 Laurel Avenue, Pacific Grove, CA
Age of Home: Approx. 104 years
Date of Inspection: June 19, 2014
Inspector: Michael Rachel

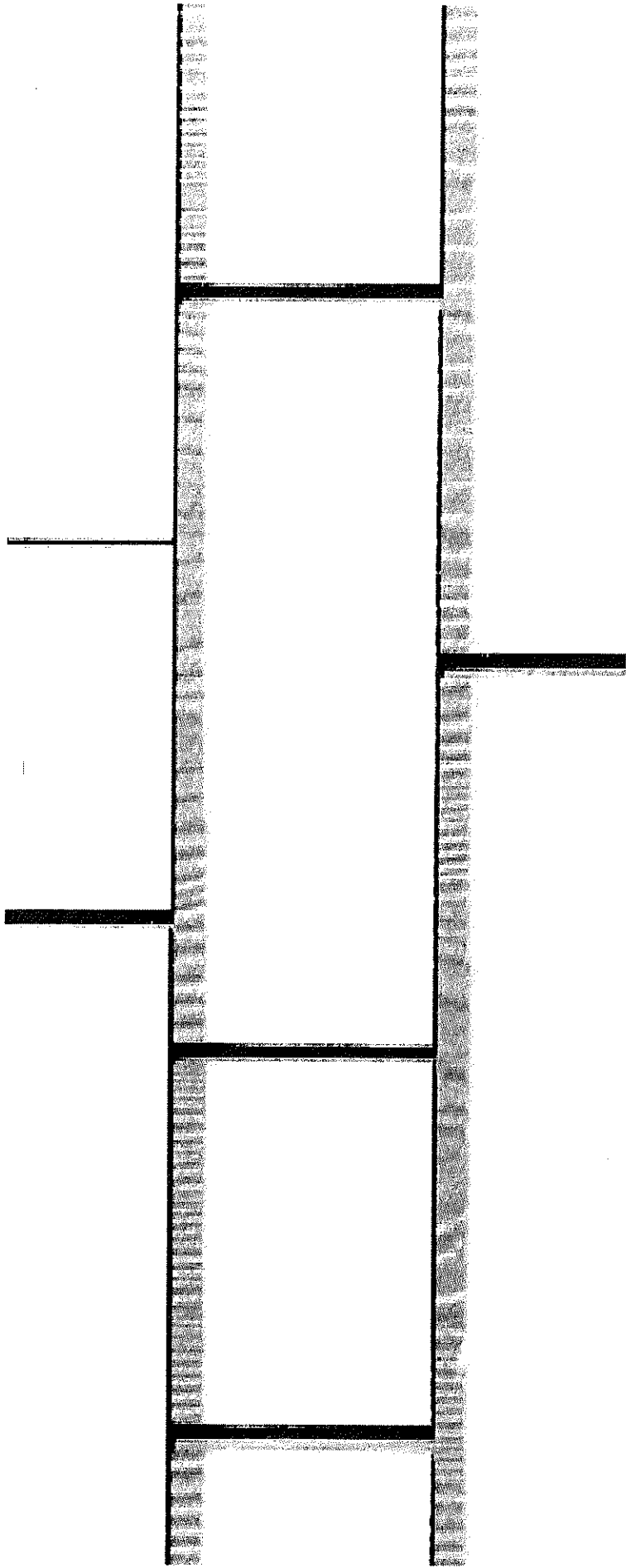


Peninsula Home Inspections LLC
P.O. Box 5605, Carmel CA 93921
Tel 831.241.0948 Fax 831.626.7522

RECEIVED

JUL 23 2015

COMMUNITY DEV. DEPT.



1/3



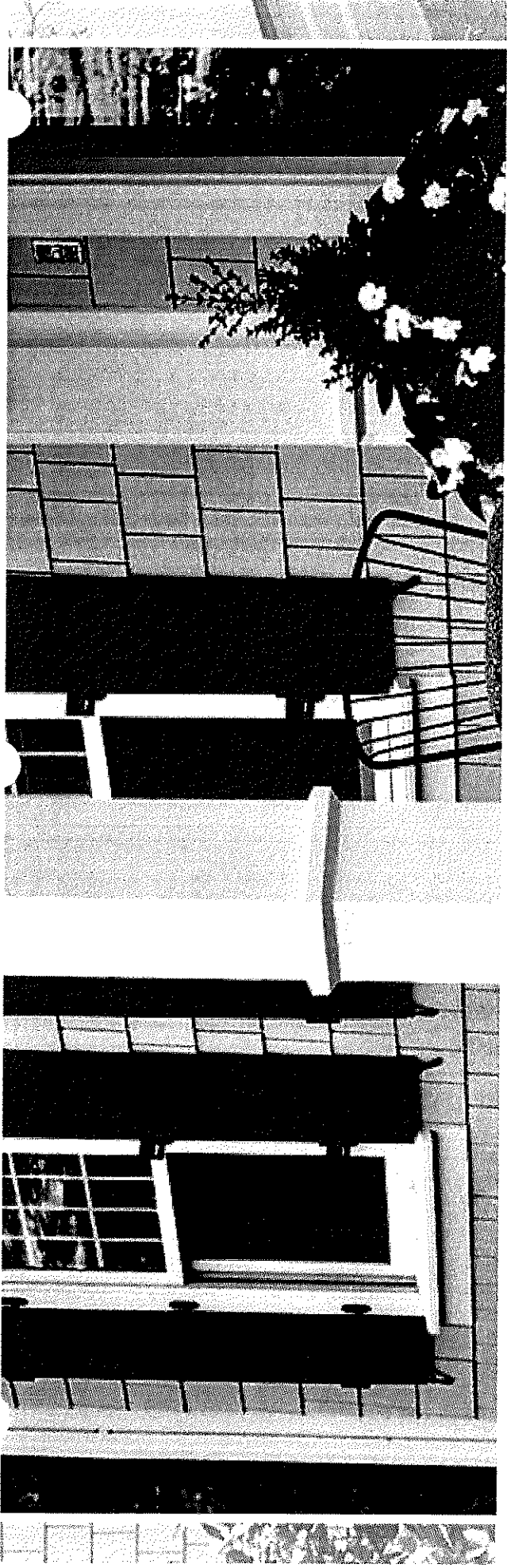
HardieShingle® Siding

INDIVIDUAL SHINGLES

Use individual shingles to create a custom shingle look.

DESIGN ADVICE: Shingles can soften a contemporary design or be used to draw attention to an architectural detail of your home.

Product Catalog Pdf



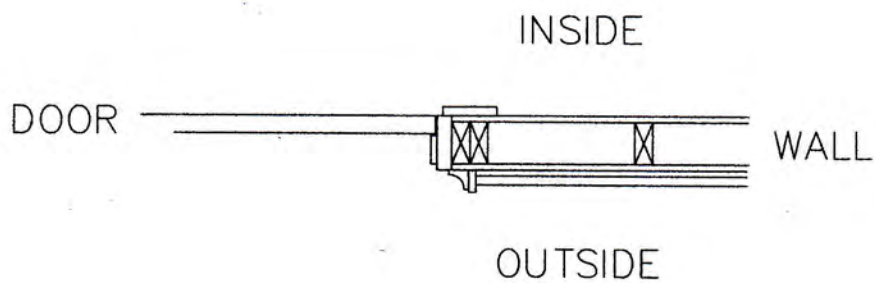
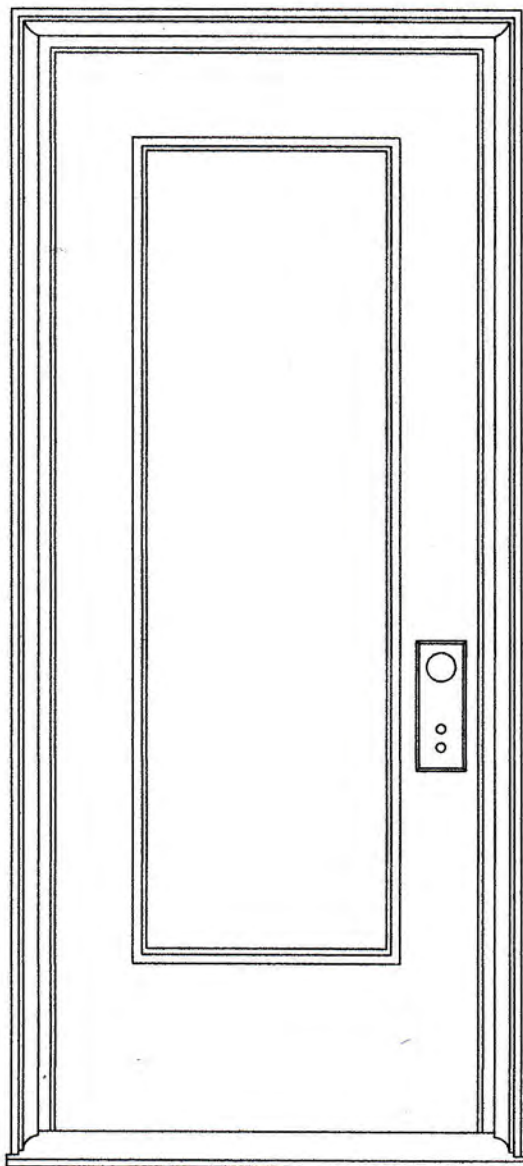
Shingles are a timeless design element. Whether used to enhance a home's architectural features or as siding for a whole house, shingles embody classic beauty.



QUICK LINKS	PRODUCTS	ABOUT US	CONNECT
Request a Quote	HardiePlank® Lap Siding	Our Company	Contact Us
Find a Contractor	HardieShingle® Siding	News	Facebook
Request a Brochure	HardiePanel® Vertical Siding	Donation Inquiries	Twitter
Request a Sample	HardieTrim® Boards	Careers	Pinterest
Live Colorfully	HardieSoffit® Pre-Cut Panels	Investor Relations	Houzz
Why Hardie?	Artisan® by James Hardie	Privacy Policy	YouTube
Resource Center	HardieWrap® Weather Barrier	Terms & Conditions	LinkedIn
Find a Dealer	HardieBacker® Cement Board	Asbestos Compensation	
For Pros			

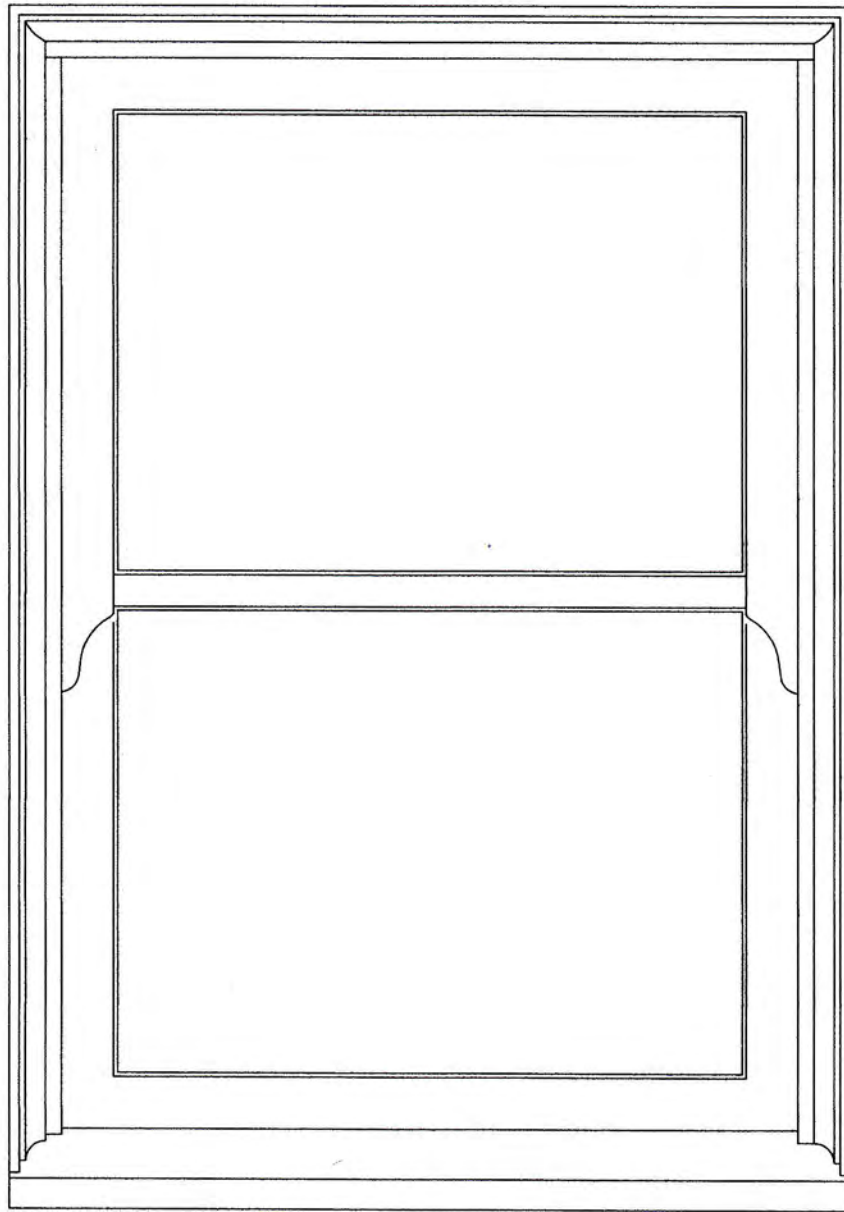


remodeling
COST VALUE
 REPORT #1 ROI

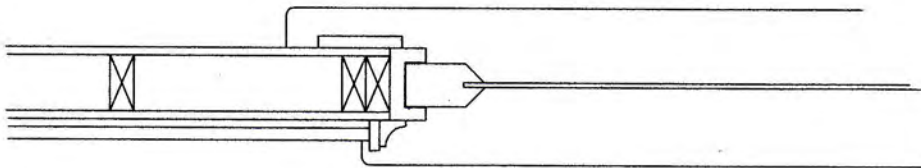


DOOR DETAILS

SCALE
3/4" = 1'-0"



INSIDE



OUTSIDE

SCALE
1" = 1'-0"

WINDOW DETAILS

MONTEREY PENINSULA WATER MANAGEMENT DISTRICT RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION^{7b}

NOTE: When approved and signed by the jurisdictions, this form must be submitted with final and complete Construction Plans to:

Monterey Peninsula Water Management District Permit Office
5 Harris Court, Bldg. G ♦ Monterey, CA 93940 ♦ (831) 658-5601 ♦ www.mpwmd.net ♦ Fax (831) 644-9558
Completing the Water Release Form & Water Permit Application does not guarantee issuance of a Water Permit.

ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly)

1. OWNERSHIP INFORMATION:

Name: MR. AND MRS. BOGGAN
Daytime telephone: 831 277 1193
Mailing Address: 872 LAUREL AVE
PACIFIC GROVE, CA

2. AGENT/REPRESENTATIVE INFORMATION:

Name: GREG CAREY
Daytime telephone: 383 3319
Mailing Address: 501 CALIFORNIA
SAND CITY, CA 93955

3. PROPERTY INFORMATION:

What year was the house constructed? 1911 Existing Square-footage 2602 Proposed Square-footage 2618 (+16')
Address: 872 LAUREL, PACIFIC GROVE Assessor Parcel Number 006-333-007
Is a water meter needed? (Circle one) YES NO If yes, how many meters are requested? _____
Water company serving parcel: CAL-AM Account Number: _____

NOTE: Separate water meters are required for each User. Residential uses require separate meters for all auxiliary housing that includes a kitchen.

4. PROJECT DESCRIPTION (Be thorough and detailed):

INTERIOR REMODEL / RESTORATION OF HISTORIC CHARACTERISTICS / (C) PLUMBING / (C) ELECTRICAL

5. INSTRUCTIONS: Table #1 should list the fixtures on the property as they exist before the project. Table #2 should reflect all fixtures on the property after the project is completed. Only one Master Bathroom can be designated per dwelling unit.

Table No. 1 Existing Property Fixture Count
(All fixtures before project)

Type of Fixture	Fixture	Value	Count
Washbasin	<u>2.0</u>	x 1.0 =	<u>2.0</u>
Two Washbasins in the Master Bathroom*		x 1.0 =	
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	<u>2.0</u>	x 1.8 =	<u>3.2</u>
Toilet, High Efficiency (HET)		x 1.3 =	
Toilet, Ultra High Efficiency (UHET)		x 0.8 =	
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)		x 0.5 =	
Zero Water Consumption Urinal*		x 0.0 =	
Masterbath (one per Dwelling): Tub & Separate Shower*		x 3.0 =	
Large Bathtub (may have Showerhead above)		x 3.0 =	
Standard Bathtub or Shower Stall (one showerhead)	<u>2.0</u>	x 2.0 =	<u>4.0</u>
Shower, each additional fixture (heads, body spray)		x 2.0 =	
Shower system, Rain Bars or Custom Shower (specs)		x 2.0 =	
Kitchen Sink (with optional Dishwasher)	<u>1.0</u>	x 2.0 =	<u>2.0</u>
Kitchen Sink with High Efficiency Dishwasher		x 1.5 =	
Dishwasher, each additional (with optional sink)		x 2.0 =	
Dishwasher, High Efficiency (with opt. sink)		x 1.5 =	
Laundry Sink/Utility Sink (one per Site)	<u>1.0</u>	x 2.0 =	<u>2.0</u>
Clothes Washer		x 2.0 =	
Clothes Washer, (HEW) 5.0 water factor or less	<u>1.0</u>	x 1.0 =	<u>1.0</u>
Bidet		x 2.0 =	
Bar Sink		x 1.0 =	
Entertainment Sink		x 1.0 =	
Vegetable Sink		x 1.0 =	
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	
Other		x _____ =	
Other		x _____ =	
Other		x _____ =	
Other		x _____ =	

* Use this fixture count if a previous Permit was issued under Ordinance 80 to utilize the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

Table No. 2 Post Project Fixture Count
(All fixtures after project)

Type of Fixture	Fixture	Value	Count
Washbasin	<u>2.0</u>	x 1.0 =	<u>2.0</u>
Two Washbasins in the Master Bathroom	<u>1.0</u>	x 1.0 =	<u>1.0</u>
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)		x 1.8 =	
Toilet, High Efficiency (HET)		x 1.3 =	
Toilet, Ultra High Efficiency (UHET)		x 0.8 =	
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)	<u>3.0</u>	x 0.5 =	<u>1.5</u>
Zero Water Consumption Urinal*		x 0.0 =	
Masterbath (one per Dwelling): Tub & Separate Shower		x 3.0 =	
Large Bathtub (may have Showerhead above)		x 3.0 =	
Standard Bathtub or Shower Stall (one showerhead)		x 2.0 =	
Shower, each additional fixture (heads, body spray)	<u>3.0</u>	x 2.0 =	<u>6.0</u>
Shower system, Rain Bars or Custom Shower (specs)		x 2.0 =	
Kitchen Sink (optional dishwasher)	<u>1.0</u>	x 2.0 =	<u>2.0</u>
Kitchen Sink with High Efficiency Dishwasher		x 1.5 =	
Dishwasher, each additional (optional sink)		x 2.0 =	
Dishwasher, High Efficiency (with opt. sink)		x 1.5 =	
Laundry Sink/Utility Sink (one per Site)		x 2.0 =	
Clothes Washer	<u>1.0</u>	x 2.0 =	<u>2.0</u>
Clothes Washer, (HEW) 5.0 water factor or less		x 1.0 =	
Bidet		x 2.0 =	
Bar Sink		x 1.0 =	
Entertainment Sink		x 1.0 =	
Vegetable Sink		x 1.0 =	
Instant-Access-Hot-Water System (fixture credit)		x <0.5> =	
New Connection – Refer to District Rule 24-A5			
“Exterior Residential Water Demand Calculations”		x _____ =	
Subtotal proposed fixtures			
Swimming Pool (each 100 sq-ft of pool surface)		x 1.0 =	

EXISTING FIXTURE UNIT COUNT

TOTAL = 15.2

PROPOSED FIXTURE UNIT COUNT

TOTAL = 14.4

DEED RESTRICTION REQUIRED FOR ALL WATER PERMITS - PERMIT PROCESS MAY TAKE UP TO THREE WEEKS

In completing the Water Release Form, the undersigned acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the undersigned is responsible for accurately accounting for all water fixtures. If the fixture unit count changes without notification to the District, or if a difference in fixtures is documented upon official inspection, Water Permits for the property may be canceled. In addition, water fixtures installed without a Water Permit may be cause for interruption of the water service to the Site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local Jurisdiction's Allocation. The property owner/Applicant is required to notify the District and provide Construction Plans as appropriate for each change in the Project made prior to use or occupancy that may affect the Project's Capacity to use water.